

Village of Eden
104 Pine Avenue, PO Box 65
Eden, WI 53019
920-477-4304

TO ALL PERSONS APPLYING FOR BUILDING PERMITS

BUILDING INSPECTOR'S OFFICE HOURS By Appointment

IMPORTANT TELEPHONE NUMBERS

To Schedule and Appointment with Inspector 800-422-5220

NEEDED FOR ACCESSORY STRUCTURES AND DECKS

- 1) Survey or site plan to scale showing distances to all lot lines, any structures or easements on property, and all streets.
- 2) 2 sets of complete construction plans. Include type, grade and sizes of lumber, footing depth, post size and spacing, stairs, guardrail and handrails
- 3) Erosion Control and Drainage plan.
- 4) Building permit application filled out, including contractor's name, license number or cautionary statement.
- 5) Fee will be calculated after submittal.

NEEDED FOR FENCES

- 1) Survey or site plan showing fence location and distance to all lot lines.
- 2) Submit fence style and height. Good side needs to be facing out.
- 3) Building application completely filled out.
- 4) Fee will be calculated after submittal.



Independent Inspections, Ltd.

*Certified Building Inspectors
W241 S4135 Pine Hollow Court
Waukesha, WI 53189-7901*

**CAUTIONARY STATEMENT TO OWNERS
OBTAINING UDC BUILDING PERMITS**

101.65 (1r) of the Wisconsin Statutes requires an owner who applies for a building permit to sign a statement advising the owner that:

If the owner hires a contractor to perform work under the building permit and the contractor is not bonded or insured as required under s. 101.654(2)(a), the following consequences might occur:

101.65(1r)(a)

- a) The owner may be held liable for any bodily injury to or death of others or for any damage to the property of others that arises out of the work performed under the building permit or that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

(1r)(b)

- b) The owner may not be able to collect from the contractor damages for any loss sustained by the owner because of a violation by the contractor of the one and two family dwelling code or an ordinance enacted under sub. (1)(a), because of any bodily injury to or death of others or damage to the property of others that arises out of the work performed under the building permit or because of any bodily injury to or death of others or damage to the property of others that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

ACKNOWLEDGED AND ACCEPTED

Owner

Date

☐ Owner copy

☐ File copy

than 50% of the floor area of only one story of the home shall be occupied by such office and that not more than 2 persons not members of the resident family may be employed in such office.

L. Signs as follows:

1. One sign, on the premises, for each professional person or home occupation, not over one square foot in area.
2. One announcement sign or bulletin board for each public, religious or educational institution, not over 12 square feet in area.
3. A sign, not over 4 square feet in area, pertaining to the lease, hire or sale of a building or premises, except that there may be 2 such signs for a group or more than 3 contiguous vacant lots.
4. Two signs, not over 4 square feet in area, for each roadside stand.
5. Signs for the protection of persons or property.
6. Signs placed by the public authorities for the guidance or warning of traffic.
7. Provided that no advertising sign of any other character shall be permitted in the single family residence district; and provided further that all permitted signs, except signs placed by the public authorities or required to be located otherwise by law shall be located on the premises to which they relate, and at least 5 feet from the inside sidewalk line, and that no such sign shall be illuminated unless such sign and illuminating device are located entirely within one foot of a street wall of the main building, except as provided in sec. 8.07 of this code.

M. Additional uses by special permit. See SECTION 4, A9 of this Ordinance.

6.1 HEIGHT AND AREA. (Single Family Residence District)

In the single family residence district, the height of buildings, the minimum dimensions of yards and the minimum lot area per area per family shall be as follows:

A. Height. Buildings hereafter erected or structurally altered shall not exceed 35 feet. See SECTION 4, C1-7 of this Ordinance.

B. Side Yard. There shall be a side yard on each side of a building hereafter erected, moved or structurally altered. For buildings not over 1½ stories high, the sum of the widths of the required side yards shall be not less than 12 feet and no single side yard shall be less than 6 feet in width. For buildings from 2 to 2½ stories in height, the sum of the widths of the required side yards shall be not less than 15 feet and no single side yard shall be less than 8 feet in width. Provided, however, that on a lot having a width of less than 60 feet and of record at the time of the passage of this ordinance, the sum of the width of the required side yards shall not be less than the equivalent of 2.4 inches per foot of lot width for a building not over 1½ stories in height and 3 inches per foot of lot width for a building from 2 to 2½ stories in height, provided further that the width of any single side yard shall be not less than 40% of the total required side yard width, but in no case less than 4 feet. A side yard shall be provided on the street side of a corner lot as required under "Setback" below. See SECTION 4, A7; D1, 2, and 7 of this Ordinance.

C. Setback. Unless otherwise provided, there shall be a setback on every lot in this district of not less than 25 feet, provided that on any corner lot less than 75 feet wide and of record at the time of the passage of this ordinance, the setback on the side street may be reduced by ½ foot for each foot by which the width of the said corner lot is less than 75 feet, but in no case to less than 10 feet; provided, however, that no accessory building shall project beyond the setback line of the lot abutting the yard in which such accessory building is located. See SECTION 3 "Setback" and SECTION 4, A7; D3 of this Ordinance.

D. Rear Yard. There shall be a rear yard having a depth of not less than 25 feet. See SECTION 4, A7; D3, 2, 6 and 7 of this Ordinance.

E. Lot Area Per Family. Every building hereafter erected, moved or structurally altered shall provide a lot area of not less than 9,600 square feet per family and no such lot shall be less than 80 feet in width; provided that no corner lot laid out or divided after the effective date of this ordinance shall be less than 95 feet in width. See SECTION 4 A7; B1 and 2 of this Ordinance.

F. Minimum Ground Floor Area.

1. One story dwellings - not less than 900 square feet.
2. Split level dwelling - not less than 800 square feet.
3. Two story and 2½ story dwellings not less than 600 square feet.

Auto parking as above. See SECTION 5 - Motor Vehicles and Parking.

G. Vision Clearance. On every corner lot in the single family residence district,

there shall be a vision clearance triangle, bounded by the street lines and a line connecting the points at which such street lines are intersected by the projections or extensions of the rear lines of the required front and side street side yards. Within such triangle no structure or object of natural growth shall be constructed, maintained or permitted to grow between a height of 2½ feet and 10 feet above the elevation of the street pavement at the intersection of the centerlines of the streets bounding the property, or the elevation of the top of the curb nearest such intersection, if there be a curb. This regulation shall not apply to the trunks of trees, fence posts not over 6" square or in diameter, retaining walls supporting ground at or below its natural level, or wire fences so designed and constructed as not to constitute a substantial obstruction to the view of motorists and pedestrians across the vision clearance triangle from one street to another.

6.2 SINGLE FAMILY SEMI-DETACHED DISTRICT- R-2.

The single family semi-detached district is defined to mean that there shall be no more than two single family units attached together side by side, or up and down, upon one lot.

A. Permitted Use. The permitted use in the single family semi-detached district shall be the same as in the single family residence district.

B. Side Yard. There shall be a side yard on each side of the building hereafter erected, moved or structurally altered. The side yard shall be the sum of the width of the required side yard and shall be not less than 12 feet and no single yard shall be less than 6 feet in width. A side yard shall be provided on the street side of a corner lot as required under "Setback" below.

C. Setback. The setback regulations for the single family semi-detached district shall be the same as those for the single family residence district.

D. Rear Yard. Minimum rear yard shall be 35 feet in the single family semi-detached residence district.

E. Lot Area Per Family. Every building hereinafter erected, moved or structurally altered for occupancy by one family shall provide a lot area of not less than 9,600 square feet and no such lot shall be less than 80 feet in width; every building hereafter erected, moved or structurally altered for occupancy by more than one family shall provide a lot area per family not less than the area shown in the following table:

<u>Number of Families</u>	<u>Lot Area per Family</u>
2	5,000 sq. ft.

Provided that no corner lot shall be laid out or divided after the effective date of this ordinance shall be less than 95 feet in width. See SECTION 4, A7; B1 and 2.

F. Minimum Floor Area. Every building hereafter erected, moved or structurally altered for occupancy by one family shall provide a floor area of not less than 750 square feet per family. Every building hereafter erected, moved or structurally altered for occupancy by more than one family shall provide a floor area of not less than 600 square feet per family.

G. Auto Parking. Every dwelling hereafter erected or structurally altered shall provide motor vehicle parking space off the public street and accessible thereto in a ratio of not less than one such parking space for each family which the building is designed to accommodate. See SECTION 5 of this Ordinance.

H. Vision Clearance. The vision clearance requirements in the single family semi-detached residence district shall be the same as the single family residence district.

7. MULTIPLE FAMILY RESIDENCE DISTRICT – USE – R-3.

In the multiple family residence district, no building or premises shall be used and no building hereafter be erected, moved or structurally altered, unless otherwise provided in this ordinance, except for one or more of the following uses:

A. Any use permitted in the single family residence district; multiple family dwellings.

B. Boarding houses and lodging houses.

C. Public hospitals or clinics, except veterinary hospitals or clinics, public corrective institutions and asylums, public or private sanitariums, when every building of any such institution shall be located not less than 50 feet from any lot in a residence district not used for the same purpose.

D. Nursing homes, convalescent homes and homes for the aged, when conducted in a residential building and when no external alterations are made that would effect a substantial change in the residential character or appearance of the building.

E. Private clubs and lodges, except those whose chief activity is a service customarily carried on as a business.

7.1 HEIGHT AND AREA. (Multiple Family Residence District)

In the multiple family residence district, the height of buildings and the minimum

dimensions of yards and the minimum lot area per family shall be as follows:

A. Height. The height regulations for the multiple family residence district shall be the same as those for the single family residence district.

B. Side Yard. The side yard regulations for the multiple family residence district shall be the same as those for the single family residence district.

C. Setback Front. The setback regulations for the multiple family residence district shall be the same as those for the single family residence district.

D. Rear Yard. The rear yard regulations for the multiple family residence district shall be the same as those for the single family semi-detached residence district.

E. Lot Area Per Family. Every building hereafter erected, moved or structurally altered for occupancy by 1 family shall provide a lot area of not less than 9,600 square feet and no such lot shall be less than 80 feet in width; every building hereafter erected, moved or structurally altered for occupancy by more than one family shall provide a lot area per family not less than the areas shown in the following table:

<u>Number of Families</u>	<u>Lot Area Per Family</u>
2	5,000 sq. ft.
3	4,500 sq. ft.
4	4,000 sq. ft.
More than 4	Area required for 4 families plus 1,000 sq. ft. for each family over 4

Provided that no corner lot laid out or divided after the effective date of this ordinance shall be less than 95 feet in width. See SECTION 4, A7; B1 and 2.

7.2 MINIMUM FLOOR AREA.

Every building hereafter erected, moved or structurally altered for occupancy by 1 family shall provide a floor area of not less than 750 square feet per family. Every building hereafter erected, moved or structurally altered for occupancy by more than 1 family shall provide a floor area not less than 600 square feet per family.

7.3 AUTO PARKING.

The parking regulations for Multiple Family Residence District shall be the same as those for the Single Family Semi-Detached District. See SECTION 5 of this Ordinance.

CODES FOR DECKS

If the deck is attached to a building, or if detached but serves as an exit, the post holes (footings) must be a minimum of 48" below finished grade. These holes must be inspected before being filled.

Deck may not impede access to electric meter pedestal and pedestal must meet the electric utility requirements.

Floor joists within 18" of the earth and girders within 12" of the earth must be pressure treated. Any stringers or joists of 8' or greater in length shall be supported on joist hangers using manufacture recommended nails.

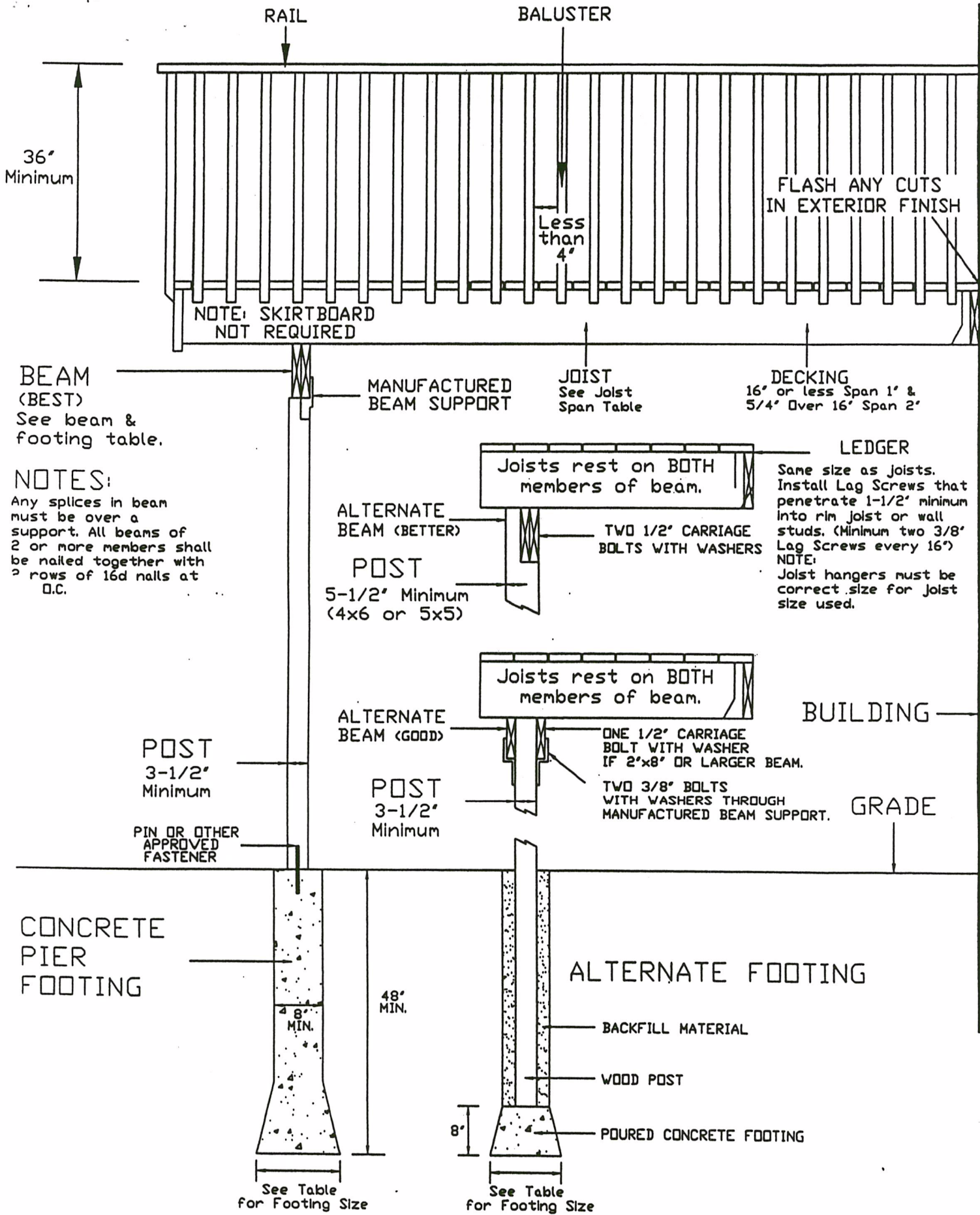
STAIRS: Stair width must be at least 36". Risers shall not exceed 8" in height, measured vertically from tread to tread. Treads shall be at least 9" wide, measured horizontally from nosing to nosing. There shall be no variation in uniformity exceeding 3/16" in the width of the tread or in the height of the risers.

HANDRAILS: Every stairs of more than 3 risers shall be provided with at least one handrail. Handrails shall be provided continuously on all open sides of stairways. Handrails shall be located at least 30" but not more than 38" above the nosing. Width of handrail shall not be more than 2 5/8". Clearance between handrail and wall shall not be less than 1 1/2 inches.

GUARDRAILS: Decks that are more than 24" above grade shall be protected by a guardrail. Guardrails shall be at least 36" above the upper surface of the floor. Open guardrail or handrails shall be provided with intermediate rails or an ornamental pattern with openings no larger than 4". Handrails and guardrail shall be designed and constructed to withstand a 200# load applied in any direction. Handrails and guardrail shall be decay resistant or pressure treated wood.

All other provisions of the appropriate codes shall be adhered to.

A FINAL INSPECTION IS REQUIRED UPON COMPLETION.
CALL 544-8280 or 1-800-422-5220



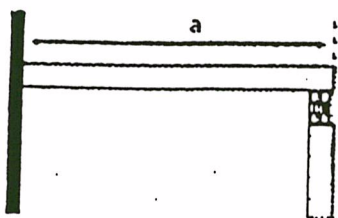
Joist Span

Based on No. 2 or better wood grades.
(Design Load = 40#LL + 10#DL, Deflection= L/360)

	Ponderosa Pine			Southern Pine			Western Cedar		
	12"OC	16"OC	24"OC	12"OC	16"OC	24"OC	12"OC	16"OC	24"OC
2x6	9-2	8-4	7-0	10-9	9-9	8-6	9-2	8-4	7-3
2x8	12-1	10-10	8-10	14-2	12-10	11-0	12-1	11-0	9-2
2x10	15-4	13-3	10-10	18-0	16-1	13-5	15-5	13-9	11-3
2x12	17-9	15-5	12-7	21-9	19-0	15-4	18-5	16-0	13-0

Sample Calculations for Using Joist Span, Beam Size and Footing Size Tables

CASE I SOLUTION:

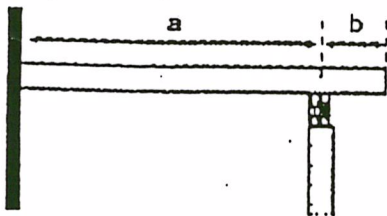


Refer to tables for joist, beam and footing size requirements.

Example: $a = 12'$; Post Spacing = 8'

Use the **Joist Span** table to find the acceptable joist sizes for a 12' span, 2x8s at 12" O.C., 2x10s at 16" O.C. or 2x12s at 24" O.C.

Use the **Beam and Footing Sizes** table and find the 8' post spacing column. With a 12' deck span, the beam may be either two 2x8s or two 2x10s, depending on wood used. Depending on the type of soil, the footing diameter at the base must be a minimum of 12", 10" or 9" for the corner post and 17", 14" or 12" for all intermediate posts.

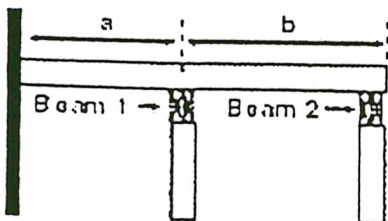


Use "a" to determine joist size and "a" + "b" to determine beam and footing sizes. The length of "b" is restricted by both the length of "a" and the size of the joists.

Example: $a = 8'$, $b = 2'$, Post Spacing = 10'

Refer to the **Joist Span** table. For an 8' joist span, either 2x8s at 24" O.C. or 2x6s at 16" O.C. are acceptable.

For sizing the beam, use a joist length of 10' ($8' + 2'$) and a post spacing of 10'. The **Beam and Footing Sizes** table indicates that the beam may be either two 2x10s or two 2x12s, depending on wood used. Depending on the type of soil, the footing diameter at the base must be a minimum of 13", 11" or 10" for the corner post and 18", 15" or 13" for all intermediate posts. Note that because of the 2' cantilever all footing sizes were increased by 1" as required by footnote 2 at the end of the table.



Use "a" or "b", whichever is greater, to determine joist size. Use "a" + "b" to determine the size of Beam 1 and the post footing size for the posts supporting Beam 1. Use joist length "b" to determine both the size of Beam 2 and the post footing size for the posts supporting Beam 2.

Example: $a = 6'$, $b = 7'$, Post Spacing = 9'

Joist size is determined by using the longest span joist (7'). The **Joist Span** table indicates that 2x6s at 24" O.C. would be adequate for this span.

For Beam 1 and footings, use a joist length of 13' ($6' + 7'$) and a post spacing of 9'. The **Beam and Footing Sizes** table indicates that the beam may be two 2x10s or two 2x12s, depending on the wood used. Depending on the type of soil, the footing diameters for Beam 1 posts shall be 13", 11" or 9" for the corner (outside) post and 19", 15" or 13" for all intermediate posts. For Beam 2 and footings use a joist length of 7' and post spacing of 9'. The beam may be two 2x8s or two 2x10s, depending on wood used. Depending on the type of soil, the footing diameters for Beam 2 shall be 10", 8" or 7" for the corner posts, and 14", 11" or 10" for all intermediate posts.

Joist Span

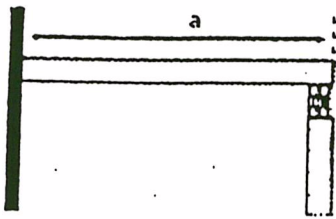
Based on No. 2 or better wood grades.

(Design Load = 40#LL + 10#DL, Deflection = L/360)

	Ponderosa Pine			Southern Pine			Western Cedar		
	12"OC	16"OC	24"OC	12"OC	16"OC	24"OC	12"OC	16"OC	24"OC
2x6	9-2	8-4	7-0	10-9	9-9	8-6	9-2	8-4	7-3
2x8	12-1	10-10	8-10	14-2	12-10	11-0	12-1	11-0	9-2
2x10	15-4	13-3	10-10	18-0	15-1	13-5	15-5	13-9	11-3
2x12	17-9	15-5	12-7	21-9	19-0	15-4	18-5	16-0	13-0

Sample Calculations for Using Joist Span, Beam Size and Footing Size Tables

CASE I SOLUTION:

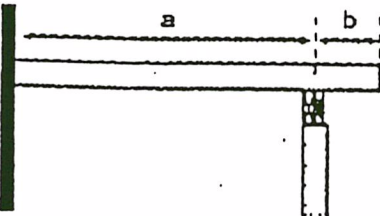


Refer to tables for joist, beam and footing size requirements.

Example: $a = 12'$; Post Spacing = 8'

Use the **Joist Span** table to find the acceptable joist sizes for a 12' span, 2x8s at 12" O.C., 2x10s at 16" O.C. or 2x12s at 24" O.C.

Use the **Beam and Footing Sizes** table and find the 8' post spacing column. With a 12' deck span, the beam may be either two 2x8s or two 2x10s, depending on wood used. Depending on the type of soil, the footing diameter at the base must be a minimum of 12", 10" or 9" for the corner post and 17", 14" or 12" for all intermediate posts.

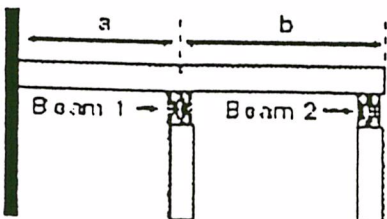


Use "a" to determine joist size and "a" + "b" to determine beam and footing sizes. The length of "b" is restricted by both the length of "a" and the size of the joists.

Example: $a = 8'$, $b = 2'$, Post Spacing = 10'

Refer to the **Joist Span** table. For an 8' joist span, either 2x8s at 24" O.C. or 2x6s at 16" O.C are acceptable.

For sizing the beam, use a joist length of 10' ($8' + 2'$) and a post spacing of 10'. The **Beam and Footing Sizes** table indicates that the beam may be either two 2x10s or two 2x12s, depending on wood used. Depending on the type of soil, the footing diameter at the base must be a minimum of 13", 11" or 10" for the corner post and 18", 15" or 13" for all intermediate posts. Note that because of the 2' cantilever all footing sizes were increased by 1" as required by footnote 2 at the end of the table.



Use "a" or "b", whichever is greater, to determine joist size. Use "a" + "b" to determine the size of Beam 1 and the post footing size for the posts supporting Beam 1. Use joist length "b" to determine both the size of Beam 2 and the post footing size for the posts supporting Beam 2.

Example: $a = 6'$, $b = 7'$, Post Spacing = 9'

Joist size is determined by using the longest span joist (7'). The **Joist Span** table indicates that 2x6s at 24" O.C. would be adequate for this span.

For Beam 1 and footings, use a joist length of 13' ($6' + 7'$) and a post spacing of 9'. The **Beam and Footing Sizes** table indicates that the beam may be two 2x10s or two 2x12s, depending on the wood used. Depending on the type of soil, the footing diameters for Beam 1 posts shall be 13", 11" or 9" for the corner (outside) post and 19", 15" or 13" for all intermediate posts. For Beam 2 and footings use a joist length of 7' and post spacing of 9'. The beam may be two 2x8s or two 2x10s, depending on wood used. Depending on the type of soil, the footing diameters for Beam 2 shall be 10", 8" or 7" for the corner posts, and 14", 11" or 10" for all intermediate posts.

Beam and Footing Sizes

Based on No. 2 or better Ponderosa Pine and Southern Pine
(Treated for weather and/or ground exposure)

		Post Spacing										
		4'	5'	6'	7'	8'	9'	10'	11'	12'	13'	14'
Joist Length	6'	Southern Pine Beam Ponderosa Pine Beam Corner Footing Intermediate Footing	1-2x6 1-2x6 6 5 4 9 8 7	1-2x6 1-2x6 7 6 5 10 8 7	1-2x6 1-2x6 7 6 5 10 9 7	2-2x6 2-2x6 8 7 6 11 9 8	2-2x6 2-2x6 9 7 6 12 10 9	2-2x6 2-2x6 9 7 6 13 10 9	2-2x8 2-2x10 10 8 7 14 11 10	2-2x8 2-2x10 10 8 7 15 12 10	2-2x10 2-2x12 11 9 8 16 13 11	2-2x10 2-2x12 11 9 8 17 14 12
	7'	Southern Pine Beam Ponderosa Pine Beam Corner Footing Intermediate Footing	1-2x6 1-2x6 7 5 5 9 8 7	1-2x6 1-2x6 7 6 5 10 8 7	1-2x6 1-2x6 8 7 6 11 9 8	2-2x6 2-2x6 9 7 6 12 10 9	2-2x6 2-2x6 9 8 7 13 11 9	2-2x8 2-2x10 10 8 7 14 11 10	2-2x8 2-2x10 10 8 7 15 12 10	2-2x10 2-2x12 11 9 8 16 13 11	2-2x10 2-2x12 11 9 8 17 14 12	2-2x12 2-2x12 12 10 9 18 15 13
	8'	Southern Pine Beam Ponderosa Pine Beam Corner Footing Intermediate Footing	1-2x6 1-2x6 7 6 5 10 8 7	1-2x6 2-2x6 8 6 6 11 9 8	2-2x6 2-2x8 9 7 6 12 10 9	2-2x6 2-2x8 9 8 7 13 11 9	2-2x8 2-2x10 10 8 7 14 11 10	2-2x8 2-2x10 10 8 7 15 12 10	2-2x10 2-2x10 11 9 8 16 13 11	2-2x10 3-2x10 12 10 9 17 14 12	2-2x12 3-2x10 13 10 9 18 15 13	2-2x12 3-2x10 13 11 9 19 16 14
	9'	Southern Pine Beam Ponderosa Pine Beam Corner Footing Intermediate Footing	1-2x6 1-2x6 7 6 5 10 9 7	1-2x6 2-2x6 8 7 6 12 10 8	2-2x6 2-2x8 9 7 6 13 10 9	2-2x6 2-2x8 10 8 7 14 11 10	2-2x8 2-2x10 10 9 7 15 12 10	2-2x8 2-2x10 11 9 8 16 13 11	2-2x10 2-2x10 12 10 8 17 14 12	2-2x10 3-2x10 13 10 9 18 15 13	2-2x12 3-2x10 13 11 9 19 16 14	2-2x12 3-2x12 14 11 10 20 17 15
	10'	Southern Pine Beam Ponderosa Pine Beam Corner Footing Intermediate Footing	1-2x6 1-2x6 8 6 6 11 9 8	1-2x6 1-2x6 9 7 6 12 10 9	2-2x6 2-2x8 10 8 7 14 11 10	2-2x6 2-2x8 10 8 7 15 12 10	2-2x8 2-2x10 11 9 8 16 13 11	2-2x8 2-2x10 12 10 8 17 14 12	2-2x10 2-2x12 12 10 9 18 15 13	2-2x12 3-2x10 13 11 9 19 16 14	2-2x12 3-2x12 14 11 10 20 17 15	3-2x10 3-2x12 15 12 10 21 18 16
	11'	Southern Pine Beam Ponderosa Pine Beam Corner Footing Intermediate Footing	1-2x6 2-2x6 8 7 6 12 9 8	2-2x6 2-2x6 9 7 6 13 11 9	2-2x6 2-2x8 10 8 7 14 12 10	2-2x8 2-2x8 11 9 8 15 12 10	2-2x8 2-2x10 12 9 8 16 13 11	2-2x10 2-2x12 12 10 9 17 14 12	2-2x12 2-2x12 13 11 9 18 15 13	2-2x12 3-2x10 14 12 10 19 16 14	2-2x12 3-2x12 15 12 10 20 17 15	3-2x10 3-2x12 16 13 11 21 18 16
	12'	Southern Pine Beam Ponderosa Pine Beam Corner Footing Intermediate Footing	1-2x6 2-2x6 9 7 6 12 10 9	2-2x6 2-2x6 10 8 7 14 11 10	2-2x6 2-2x8 10 9 7 15 12 10	2-2x8 2-2x10 11 9 8 16 13 11	2-2x8 2-2x10 12 10 9 17 14 12	2-2x10 2-2x12 13 10 9 18 15 13	2-2x12 2-2x12 14 11 10 19 16 14	2-2x12 3-2x10 15 12 10 20 17 15	2-2x12 3-2x12 16 13 11 21 18 16	3-2x10 3-2x12 17 14 12 22 19 17
	13'	Southern Pine Beam Ponderosa Pine Beam Corner Footing Intermediate Footing	1-2x6 2-2x6 9 7 6 13 10 9	2-2x6 2-2x6 10 8 7 14 12 10	2-2x6 2-2x8 11 9 8 15 13 11	2-2x8 2-2x10 12 10 8 17 14 12	2-2x8 2-2x12 13 10 9 18 15 13	2-2x10 2-2x12 14 12 10 19 16 14	2-2x12 2-2x12 15 12 10 20 17 15	2-2x12 3-2x10 16 13 11 21 18 16	2-2x12 3-2x12 17 14 12 22 19 17	3-2x10 3-2x12 18 15 13 23 20 18
	14'	Southern Pine Beam Ponderosa Pine Beam Corner Footing Intermediate Footing	1-2x6 2-2x6 9 8 7 13 11 9	2-2x6 2-2x8 10 8 7 15 12 10	2-2x6 2-2x8 11 9 8 16 13 11	2-2x8 2-2x10 12 10 9 17 14 12	2-2x10 2-2x12 13 11 9 18 15 13	2-2x10 3-2x10 14 11 10 20 16 14	2-2x12 3-2x12 15 12 10 21 17 15	3-2x10 3-2x12 16 13 11 22 18 15	3-2x12 Eng Bm 17 14 12 23 19 16	3-2x12 Eng Bm 18 15 13 24 20 17
	15'	Southern Pine Beam Ponderosa Pine Beam Corner Footing Intermediate Footing	2-2x6 2-2x6 10 8 7 14 11 10	2-2x6 2-2x8 11 9 8 15 12 11	2-2x8 2-2x8 12 10 8 17 14 12	2-2x8 2-2x10 13 10 9 18 15 13	2-2x10 3-2x10 14 11 10 19 16 14	2-2x12 3-2x10 15 12 11 20 17 14	2-2x12 3-2x12 16 13 11 21 18 15	3-2x10 3-2x12 17 14 12 22 19 16	3-2x12 Eng Bm 18 15 13 23 20 17	Eng Bm Eng Bm 19 16 14 24 21 18
	16'	Southern Pine Beam Ponderosa Pine Beam Corner Footing Intermediate Footing	2-2x6 2-2x6 10 8 7 14 11 10	2-2x6 2-2x8 11 9 8 16 13 11	2-2x8 2-2x10 12 10 9 17 14 12	2-2x8 2-2x10 13 11 9 18 15 13	2-2x10 3-2x10 14 11 10 20 16 14	2-2x12 3-2x10 15 12 10 21 17 15	2-2x12 3-2x12 16 13 11 22 18 16	3-2x10 3-2x12 17 14 12 23 19 17	3-2x12 Eng Bm 18 15 13 24 20 18	Eng Bm Eng Bm 19 16 14 25 21 19

Notes:

- Joist length is total length of joist, including any cantilevers.
- When joist extends (cantilevers) beyond support beam by 18" or more, add 1" to footing dimensions shown.
- Requirements for future 3-season porches or screen porches:
 - Increase corner footing size shown by 90%.
 - Increase center footing size shown by 55%.
 - Locate all footings at extremities of deck (no cantilevers).
 - Beam sizes indicated need not be altered.

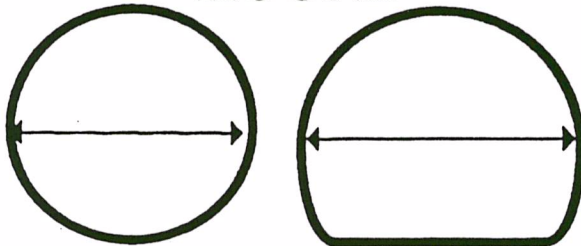
- All footing sizes above are base diameters (in inches) and are listed for THREE SOIL TYPES:

CLAY
SAND
GRAVEL

Corner Footing	10 8 7
Intermediate Footing	14 11 10

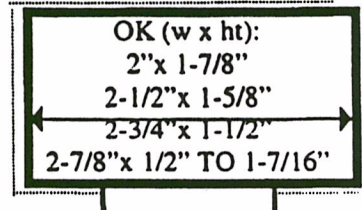
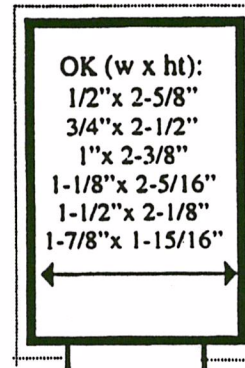
21.04(2)(a)5. HANDRAIL SHAPES

ROUND



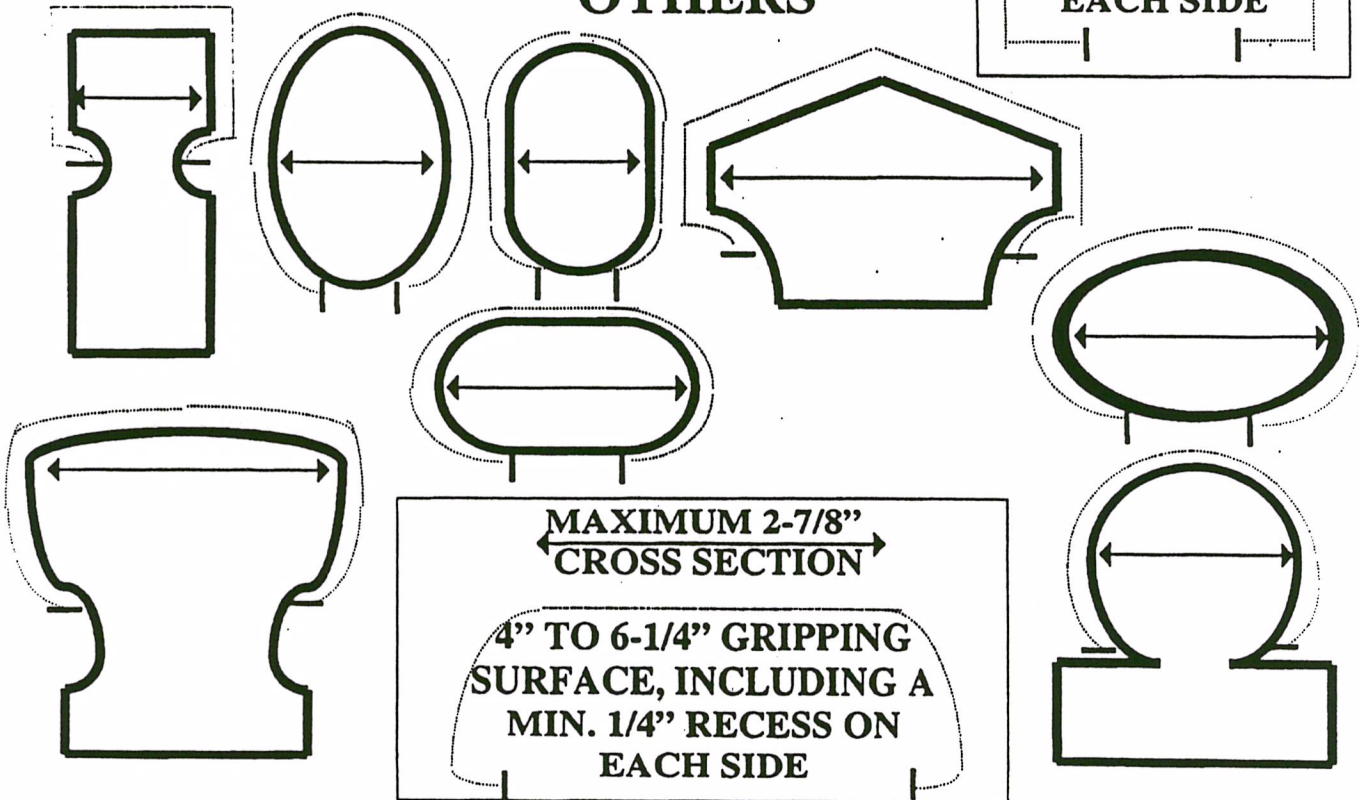
MAXIMUM 2"
DIAMETER

RECTANGULAR



MAXIMUM 2-7/8"
CROSS SECTION
MAX. 6-1/4"
GRIPPING
SURFACE INCL.
MIN. 1/4"
RECESS ON
EACH SIDE

OTHERS



MAXIMUM 2-7/8"
CROSS SECTION

4" TO 6-1/4" GRIPPING
SURFACE, INCLUDING A
MIN. 1/4" RECESS ON
EACH SIDE

262-346-4577 SAFEbuilt.		WI UNIFORM PERMIT APPLICATION hartfordinspections@safebuilt.com <i>Inspections need to be called in by 4 pm for next business day inspections.</i>				PERMIT NO. _____ TAXKEY# _____																						
ISSUING MUNICIPALITY _____ OF _____ COUNTY: _____		<input type="checkbox"/> TOWN <input type="checkbox"/> VILLAGE <input type="checkbox"/> CITY _____ _____		PROJECT LOCATION (Building Address) _____ PROJECT DESCRIPTION _____		<input type="checkbox"/> COMMERCIAL <input type="checkbox"/> ONE & TWO FAMILY																						
Owner's Name _____		Mailing Address - Include City & Zip _____				Telephone - Include Area Code _____																						
Construction Contractor (DC Lic No.) _____		Mailing Address - Include City & Zip _____				Telephone - Include Area Code _____																						
Dwelling Contractor Qualifier (DCQ Lic No.) _____		Dwelling Contractor Qualifier shall be an owner, CEO, COB, or employee of Dwelling Contractor				Telephone - Include Area Code _____																						
Plumbing Contractor (Lic No.) _____		Mailing Address - Include City & Zip _____				Telephone - Include Area Code _____																						
Electrical Contractor (Lic No.) _____		Mailing Address - Include City & Zip _____				Telephone - Include Area Code _____																						
HVAC Contractor (Lic No.) _____		Mailing Address - Include City & Zip _____				Telephone - Include Area Code _____																						
PROJECT INFORMATION		Subdivision Name _____				Lot No. _____																						
Zoning District _____		Lot Area _____ Sq. Ft.		N.S.E.W. _____		Block No. _____																						
		Setbacks _____		Front _____ Ft. Rear _____ Ft.		Left _____ Ft. Right _____ Ft.																						
1a. PROJECT		3. TYPE		6. STORIES		9. HVAC EQUIPMENT																						
<input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Raze <input type="checkbox"/> Alteration <input type="checkbox"/> Repair <input type="checkbox"/> Move <input type="checkbox"/> Other _____		<input type="checkbox"/> Single Family <input type="checkbox"/> Two Family <input type="checkbox"/> Multi <input type="checkbox"/> Commercial		<input type="checkbox"/> 1-Story <input type="checkbox"/> 2-Story <input type="checkbox"/> Other _____		<input type="checkbox"/> Forced Air Furnace <input type="checkbox"/> Radiant Baseboard or Panel <input type="checkbox"/> Heat Pump <input type="checkbox"/> Boiler <input type="checkbox"/> Central Air Conditioning <input type="checkbox"/> Other _____																						
1b. GARAGE		4. CONST. TYPE		7. FOUNDATION		12. ENERGY SOURCE																						
<input type="checkbox"/> Attached <input type="checkbox"/> Detached		<input type="checkbox"/> Site Constructed <input type="checkbox"/> Mfd. UDC <input type="checkbox"/> Mfd. HUD		<input type="checkbox"/> Concrete <input type="checkbox"/> Masonry <input type="checkbox"/> Treated Wood <input type="checkbox"/> ICF <input type="checkbox"/> Other _____		<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <th>Fuel</th> <th>Nat. Gas</th> <th>L.P.</th> <th>Oil</th> <th>Elec. *</th> <th>Solid</th> <th>Solar</th> </tr> <tr> <td>Space Htg</td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> <tr> <td>Water Htg</td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>		Fuel	Nat. Gas	L.P.	Oil	Elec. *	Solid	Solar	Space Htg	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Water Htg	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Fuel	Nat. Gas	L.P.	Oil	Elec. *	Solid	Solar																						
Space Htg	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																						
Water Htg	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																						
2. AREA		5. ELECTRICAL		10. PLUMBING		* <input type="checkbox"/> Dwelling unit will have 3 kilowatt or more installed electric space heater equipment capacity.																						
Basement _____ Sq. Ft. Living Area _____ Sq. Ft. Garage _____ Sq. Ft. Other _____ Sq. Ft. TOTAL _____		Entrance Panel Size: _____ amp Service: ___ New ___ Rewire _____ Phase _____ Volts ___ Underground ___ Overhead Power Company: _____		Sewer <input type="checkbox"/> Municipal <input type="checkbox"/> Septic No. _____																								
		8. USE		11. WATER		13. HEAT LOSS (Calculated)																						
		<input type="checkbox"/> Seasonal <input type="checkbox"/> Permanent <input type="checkbox"/> Other _____		<input type="checkbox"/> Municipal Utility <input type="checkbox"/> Private On-Site Well		Total _____ BTU/HR																						
						14. ESTIMATED COST																						
						\$ _____																						
I understand that I: am subject to all applicable codes, laws, statutes and ordinances, including those described on the Notice to Permit Applicants form; am subject to any conditions of this permit; understand that the issuance of this permit creates no legal liability, express or implied, on the state or municipality; and certify that all the above information is accurate. If one acre or more of soil will be disturbed, I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management and the owner shall sign the statement on the Notice to Permit Applicants form. I expressly grant the building inspector, or the inspector's authorized agent, permission to enter the premises for which this permit is sought at all reasonable hours and for any proper purpose to inspect the work which is being done.																												
<input type="checkbox"/> I vouch that I am or will be an owner-occupant of this dwelling for which I am applying for an erosion control or construction permit without a Dwelling Contractor Certification and have read the cautionary statement regarding contractor responsibility on the Notice to Permit Applicants form.																												
APPLICANT (PRINT): _____ SIGN: _____ DATE: _____																												
APPROVAL CONDITIONS This permit is issued pursuant to the attached conditions. Failure to comply may result in suspension or revocation of this permit or other penalty. Owner/Builder solely responsible for compliance with all applicable State & Local Building and Zoning codes.																												
INSPECTIONS NEEDED Building <input type="checkbox"/> Footing <input type="checkbox"/> Foundation <input type="checkbox"/> Rough <input type="checkbox"/> Insulation <input type="checkbox"/> Bsmt. Fl. <input type="checkbox"/> Final Electric <input type="checkbox"/> Rough <input type="checkbox"/> Service <input type="checkbox"/> Final Plumbing <input type="checkbox"/> Rough <input type="checkbox"/> Underfloor <input type="checkbox"/> Final HVAC <input type="checkbox"/> Rough <input type="checkbox"/> Final																												
FEES:		PERMIT(S) ISSUED		SEAL NO. _____		Municipality No. _____																						
Building Fee _____ Zoning Fee _____ WI Seal _____ Electric Fee _____ Plumbing Fee _____ HVAC Fee _____ Adm. Fee _____ Other _____ Total _____		Bldg. # At top of form _____ Zoning # _____ Elec. # _____ Plmb. # _____ HVAC # _____		RECEIPT CK # _____ Amount \$ _____ Date _____ From _____ Rec By. _____		PERMIT EXPIRATION: Permit expires two years from date issued unless municipal ordinance is more restrictive.																						
						PERMIT ISSUED BY MUNICIPAL AGENT: Name _____ Date _____ Certification No. _____																						